



CITY OF
Lethbridge

Office of the City Clerk

June 19, 2018

RE: NOTICE OF HEARING - SUBDIVISION AND DEVELOPMENT APPEAL BOARD

An appeal has been filed on the approval of the Development Officer to construct a Detached Garage with Secondary Suite at 244 20 Street North, Development Permit DEV10184.

When an appeal is filed with the Subdivision and Development Appeal Board (SDAB), all persons who own property within 200 feet or 60 meters of the development are notified of the hearing by way of this letter. In addition, the owner of the property, the applicant of the development permit, the Community Association and the person(s) who filed the appeal will also receive a copy of this letter.

The Subdivision and Development Appeal Board (SDAB) will hold a Public Hearing as follows:

DATE:	Thursday, July 5, 2018
TIME:	5:00 p.m.
LOCATION:	Council Chambers, Main Floor, City Hall 910 – 4 Avenue South

Persons affected by this development have the right to present a written, verbal and/or visual submission to the Board. When making a presentation, keep in mind that in accordance with the legislation that governs the SDAB, the Board can only consider relevant planning matters when rendering its decision. It is recommended that you limit your presentation to five minutes.

If you wish to submit written material to the Board, it should be delivered to the Secretary of the SDAB, no later than 12:00 noon on the Wednesday prior to the hearing. If you are unable to meet this submission deadline, please bring 12 copies of the materials to the Hearing and it will be distributed at the start of the Hearing. Any written and/or visual material received will be made available to the public.

We will be pleased to answer any questions you may have regarding the appeal and can also provide information or advice on Board procedures and how to make presentations to the Board. Please feel free to contact me at 403 329 7329 if you have any questions.

Yours truly,

David Sarsfield
Board Secretary,
Subdivision and Development Appeal Board



CITY OF
Lethbridge

NOTICE OF A SUBDIVISION AND DEVELOPMENT APPEAL BOARD HEARING

DATE: Thursday, July 5, 2018

PLACE: Council Chambers, 1st Floor
City Hall - 910 - 4th Avenue South

TIME: 5:00 p.m.

AGENDA:

1. CALL TO ORDER

PRESENTATIONS:

- 2.1 5:00 p.m.
SDAB No. 2018-03
APPEAL OF DEVELOPMENT PERMIT 10184

Appellants: Jeremy and Brennae Smith
Jill and Andy Smith
Darlene McLean

Address: 244 20 Street North
To construct a Detached Garage with Secondary Suite, New

**Land Use District: R-L (W) (Low Density Residential -
Westminster)**

LETTER OF APPEAL

DELIVER TO:

THE SECRETARY
SUBDIVISION & DEVELOPMENT APPEAL BOARD
City Clerk's Office, 2nd Floor, City Hall
910 - 4th Avenue South
Lethbridge, Alberta

MAIL OR FAX TO:

THE SECRETARY
SUBDIVISION & DEVELOPMENT APPEAL BOARD
City Hall
910 - 4th Avenue South
Lethbridge, Alberta T1J 0P6
FAX: 320-7575

APPELLANT:

I/we JEREMY & BRENNAE SMITH
(Please Print)

CITY OF LETHBRIDGE
RECEIVED

JUN 15 2018

Mailing Address: 240 20th St.

OFFICE OF THE
CITY CLERK

Postal Code: T1K 3M7 Telephone: Residence 403-308-7447 Business _____

Email Address: jillandandysmith@hotmail.com

Do hereby appeal the following decision/order: _____

DEV10184

APPLICATION BEING APPEALED: Development Application No. 51 Subdivision Application No. _____

Property Address of the Appeal: 244 20 Street N.

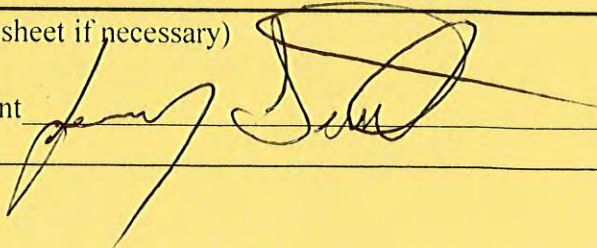
The grounds for this appeal are as follows:

THE INFORMATION DOCUMENTS ATTACHED TO THE MUNICIPAL PLANNING COMMISSION'S AGENDA OF JUNE 5/18 FOR THE APPLICATION # DEV10184 WERE FOR A COMPLETELY DIFFERENT ADDRESS. (APPENDIX A.1 & AO.1) THE LOT AT 244 20ND ST IN SMALLER THAN THE OUTLINED LOT. AN APPROVAL OR DISAGREEMENT WOULD NEED THE PROPER LAYOUT'S & DRAWING FOR ALL PARTIES TO VIEW. THEREFORE WE ARE ASKING FOR AN APPEAL ON THIS UNTIL PROPER DOCUMENTS CAN BE SUPPLIED.

(Please use separate sheet if necessary)

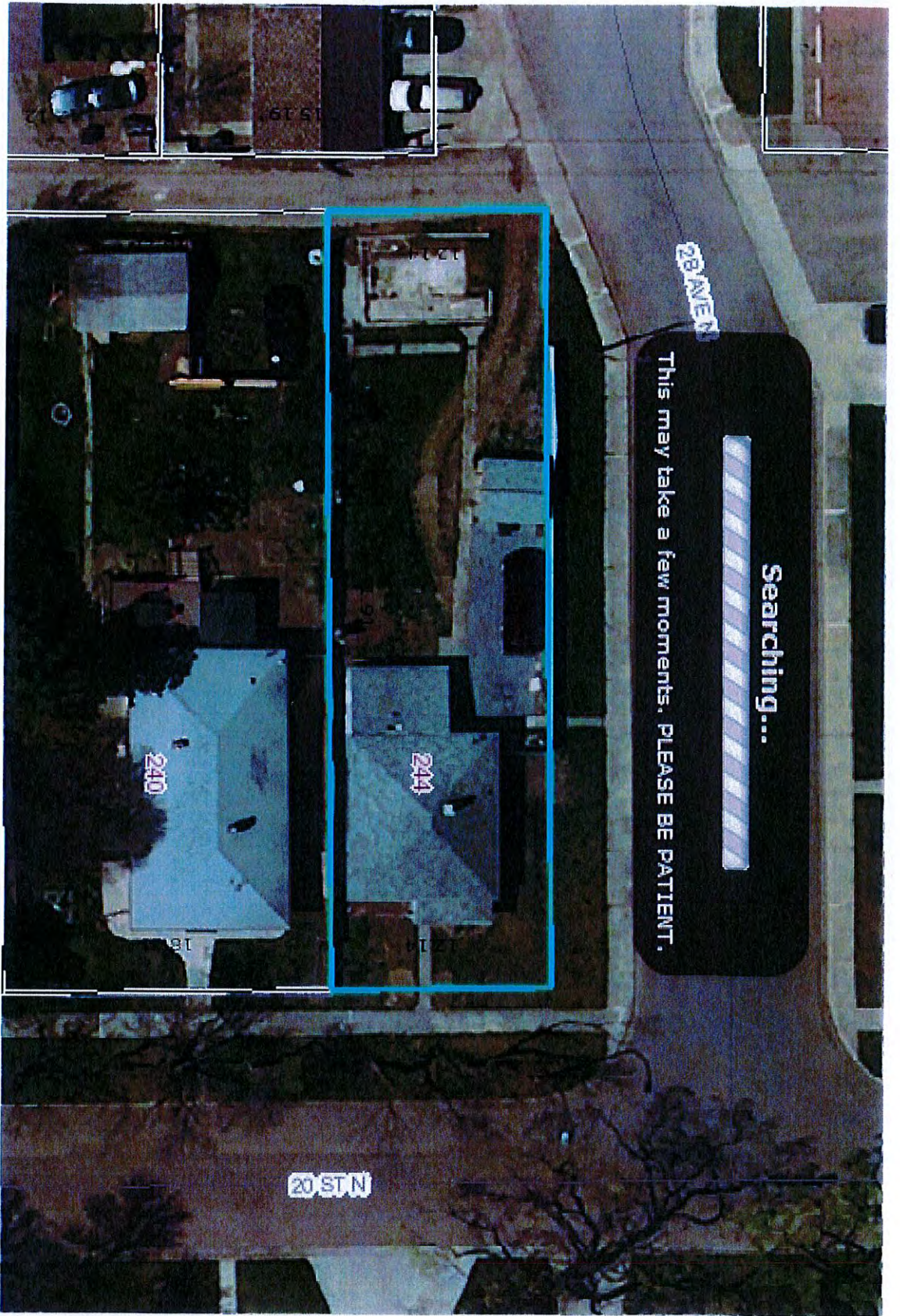
Date: June 15/18

Signature of Appellant





540 120 STN .



244 20 St N

LETTER OF APPEAL

DELIVER TO:

THE SECRETARY
SUBDIVISION & DEVELOPMENT APPEAL BOARD
City Clerk's Office, 2nd Floor, City Hall
910 - 4th Avenue South
Lethbridge, Alberta

MAIL OR FAX TO:

THE SECRETARY
SUBDIVISION & DEVELOPMENT APPEAL BOARD
City Hall
910 - 4th Avenue South
Lethbridge, Alberta T1J 0P6
FAX: 320-7575

CITY OF LETHBRIDGE
RECEIVED

JUN 15 2018

APPELLANT:

I/we JILL & ANDY SMITH

(Please Print)

OFFICE OF THE
CITY CLERK

Mailing Address: Box 19, SHAUGHNESSY, AB

Postal Code: T0K 2A0 Telephone: Residence 403-317-7626 Business _____

Email Address: jillandandysmith@hotmail.com

Do hereby appeal the following decision/order: _____

APPLICATION BEING APPEALED: Development Application No. DEV10184 Subdivision Application No. _____

Property Address of the Appeal: 244 20th St. N.

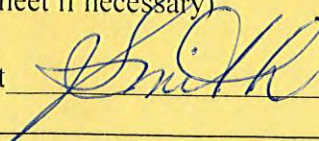
The grounds for this appeal are as follows:

PRIOR TO APPROVAL OR DISAGREEMENT WE WOULD
NEED TO VIEW PROPER DOCUMENTATION TO SUPPORT
TURNING A LOW DENSITY RESIDENTIAL DISTRICT INTO
A HIGH DENSITY AREA. ALSO THE PROPOSED
DEVELOPMENT WOULD HAVE A NEGATIVE IMPACT
ON THE VALUE OF OUR PROPERTY.

(Please use separate sheet if necessary)

Date: June 15/18.

Signature of Appellant



JUN 18 2018

OFFICE OF THE
CITY CLERK

June 18, 2018

re: appeal to SOAB

244-20 Street North

DEV 10184

upon further discussion with the local residents - Westminster Village committee wishes to support the residents in this appeal.

- 1) 4 plex across the street - North
- 2) 2 unit house across the street east with a garage suite
3 unit total - legal or illegal but there
- 3) 4-6 plex at end of block south.
- 4) lot bank of condos, apartments
2 plexes, 3 plexes + 4 plexes
just $\frac{1}{2}$ block east of this development.
- 5) enough traffic, congestion, density already.

Thank U. WVC
Don Lee McLean
1835, 6A AVE N. T1N0W5



**Land Use Bylaw 5700
DEVELOPMENT PERMIT**

**PERMIT NO.
DEV10184**

Address: **244 20 ST N**
Legal: 904C;B;15

District: R-L(W)

Applicant: OLIVIER, WES
Address: 4001 SUNDANCE RD COALHURST AB T0L 0V2

Phone: 403-315-3191

Development Proposed To construct a detached garage with secondary suite above. The three required off-street parking stalls will be provided.

District ACCESSORY BUILDINGS - RES

Land Use ACCESSORY BUILDING - PERMITTED
SECONDARY SUITE, NEW - DISCRETIONARY

CONDITIONS OF APPROVAL

In accordance with the decision of the Municipal Planning Commission on June 5, 2018, the application to construct a detached garage with secondary suite is APPROVED with the following conditions:

1. The accessory building with secondary suite shall be developed in accordance with the plans submitted April 26, 2018. Any changes to these plans requires the approval of the Development Officer.
2. A minimum of three off-street parking stalls (2 for the single detached dwelling and 1 for the secondary suite) shall be provided and maintained at all times.
3. The exterior appearance of the accessory building shall be in accordance with the plans submitted April 26, 2018 to the satisfaction of the Development Officer.

Decision Date

Jun 06, 2018

Valid Date

Jul 04, 2018

Development Commencement

Provided this decision is not appealed, development shall commence:

- on or after the valid date, and
- within one year of the valid date.

Development may commence before the valid date only if the applicant has signed the "Voluntary Waiver of Claims" and is in receipt of this signed permit.



CITY OF
Lethbridge

**Land Use Bylaw 5700
DEVELOPMENT PERMIT**

**PERMIT NO.
DEV10184**

**Development.
Authority**

PAM COLLING, DEVELOPMENT OFFICER

STATUTORY PLANS

The SSRP and applicable municipal statutory plans were considered in rendering this decision.

APPEALS

The applicant has the right to appeal this decision to the Subdivision and Development Appeal Board. An appeal shall contain a statement of the grounds of appeal and shall be delivered either personally or by Registered Mail so as to reach the Secretary of the Subdivision and Development Appeal Board not later than twenty-one (21) days after the decision date indicated on the Development Permit or 'Development Permit Application - Refused' letter.

FOIP

The personal information provided as part of this permit is collected under the Alberta Municipal Government Act and in accordance with section 33(c) of the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, Land Use By-law 5700 compliance verification and monitoring, and property assessment purposes. The name of the permit holder and the nature of the permit is available to the public upon request and may be revealed in public appeal processes.

If you have questions about the collection or use of the personal information provided, please contact Information Management at 910 4 Ave S Lethbridge, AB, T1J 0P6 or phone at (403) 329-7329, or email developmentsservices@lethbridge.ca.

Permit No. DEV10184

RECEIVED

APR 26 2018

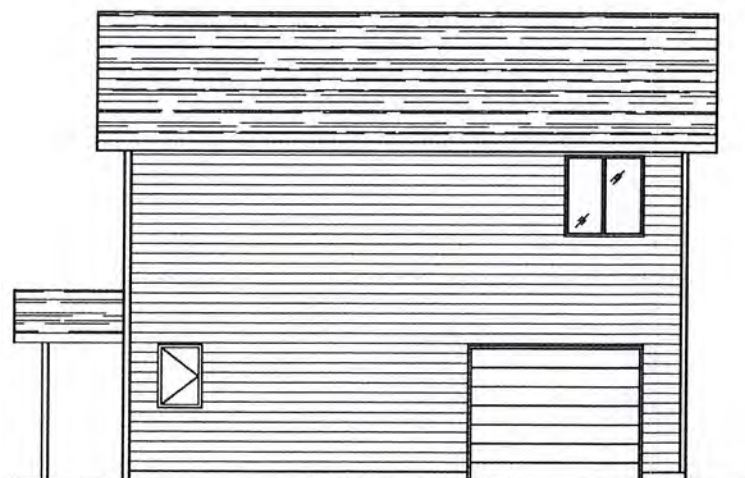
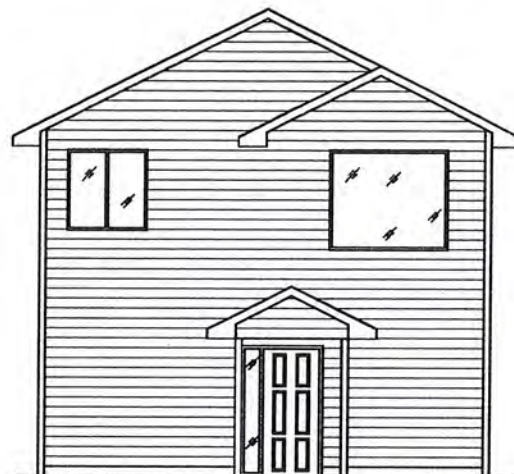
DEVELOPMENT SERVICES
CITY OF LETHBRIDGE

DRAWING NO.

CEDAR BROOK HOMES

540 - 12TH STREET 'C' NORTH - 1,480 ft² GARAGE SUITE

II.1	TITLE PAGE
A1.0	SITE PLAN
A1.1	MAIN FLOOR PLAN
A1.2	BASEMENT FLOOR PLAN
A2.1	FOUNDATION PLAN
A3.1	ROOF PLAN
A4.1	ELEVATIONS
A4.2	ELEVATIONS
A5.1	BUILDING CROSS SECTIONS
A6.1	TYPICAL WALL DETAILS
A6.2	TYPICAL WALL DETAILS
A6.3	TYPICAL INSULATION DETAILS



9.36 PRESCRIPTIVE ENERGY EFFICIENCY CALCULATION

PERME FEATURE	NO	HRV-PSI	R-VALUE	NO	HRV-PSI	R-VALUE
CEILING BELOW ATTIC	8.67	49.20	8.67	49.20		
CASHEIRA CEILING AND PLATEBOYS	4.67	26.50	4.67	26.50		
ABOVE GRADE WALLS	508	17.50	2.97	16.90		
FLOOR OVER UNHEATED SPACE	4.67	26.50	4.67	26.50		
ON JOISTS	508	17.50	2.97	16.90		
BELOW GRADE FOUNDATION WALLS	7.98	14.20	7.98	14.20		
UNHEATED FLOORS BELOW FROSTLINE	UNINSULATED	UNINSULATED	UNINSULATED	UNINSULATED		
EXTERIOR WALLS OF AN ATTACHED GARAGE	508	17.50	2.97	16.90		
WALLS ATTACHED TO AN UNCONDITIONED GARAGE	2.97	16.60	2.97	16.60		
UNHEATED FLOORS ABOVE FROSTLINE	1.96	11.00	1.96	11.00		
SLABS ON GRADE WITH AN INSULATED FOOTING	1.96	11.00	1.96	11.00		
HEATED FLOORS	2.97	16.60	2.97	16.60		
SHOWER PANES	508	17.50	2.97	16.90		
AIRC ACCESS RACKS	7.80	14.20	7.80	14.20		

ABOVE GRADE WALL ASSEMBLY

ASSEMBLY ITEM	THICKNESS	RSI/mm	RSI-VALUE	NO	HRV-PSI	HRV-PSI
EXTERIOR FINISH VINYL SIDING	---	---	0.01			
1/2" GYPSUM	---	---	0.03			
3/8" OSB SHEATHING	---	0.0038	0.09			
2x4 STUDS @ 24" O.C. w/ R22 BATT INSULATION			2.67			
VAPOR BARRIER			0			
1/2" GYPSUM	12.20	0.0041	0.08			
INTERIOR FINISH			0.12			
ASSEMBLY EFFECTIVE R			5.00	508	2.97	
			R-VALUE		R-VALUE	
			17.40		16.86	
	THICKNESS	RSI/mm	RSI-VALUE	CALCULATION	RSI-VALUE	
2x4 WOOD STUDS @ 600mm O.C.	140	0.0085	1.19	$\frac{140 \times 0.0085}{1}$	2.67	
R22 BATT INSULATION	140	---	5.07	$\frac{140 \times 5.07}{1}$	2.67	(R-5.07)

BELOW GRADE WALL ASSEMBLY

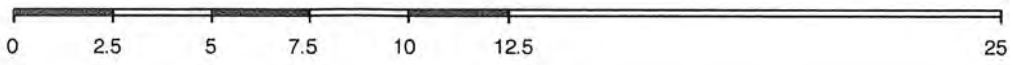
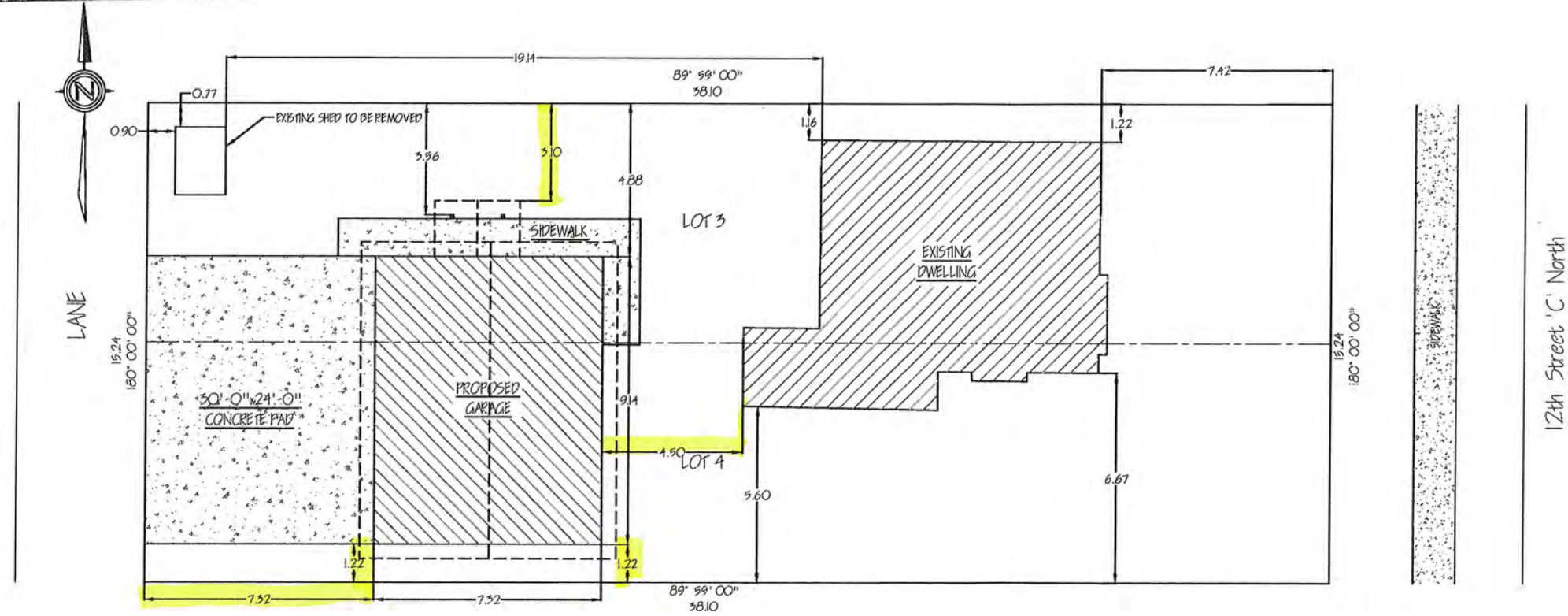
ASSEMBLY ITEM	THICKNESS	RSI/mm	RSI-VALUE	NO	HRV-PSI	HRV-PSI
EXTERIOR WALKWAY FOOTING	---	---	0.03			
CONCRETE WALL	203	0.0004	0.08			
1" AIR GAP	25	---	0.08			
VAPOR BARRIER	---	---	2.67			
2x4 STUDS @ 24" O.C. w/ R22 BATT INSULATION			0			
VAPOR BARRIER	12.20	0.0041	0.08			
GYPSUM BOARD			0.12			
ASSEMBLY EFFECTIVE R			5.01	7.98	2.98	
			R-VALUE		R-VALUE	
			14.92		14.92	
	THICKNESS	RSI/mm	RSI-VALUE	CALCULATION	RSI-VALUE	
2x4 WOOD STUDS @ 600mm O.C.	140	0.0085	1.19	$\frac{140 \times 0.0085}{1}$	2.67	
R22 BATT INSULATION	140	---	5.07	$\frac{140 \times 5.07}{1}$	2.67	(R-5.07)

<p>PANTHER HOMES & DRAFTING 732 Florence Ho Leong Crescent North Lethbridge, Alberta T1H-5R5 Phone: 403-795-4737 E-mail: pantherdrafting@gmail.com</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>#</th> <th>COMMENTS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>FOR APPROVAL</td> <td>18-04-26</td> <td>DPB</td> </tr> </tbody> </table>			#	COMMENTS	DATE	BY	1	FOR APPROVAL	18-04-26	DPB	<p>PROJECT # PHD18-02</p> <p>DATE 2018-04-26</p>
	#	COMMENTS	DATE	BY								
1	FOR APPROVAL	18-04-26	DPB									
	<p>SCALE 1/4" = 1'-0"</p> <p>DRAWN BY DPB</p> <p>CHECKED BY CEDAR BROOK HOMES</p> <p>TITLE INDEX AND TITLE PAGE</p>	<p>11.1</p>										

RECEIVED

APR 26 2018

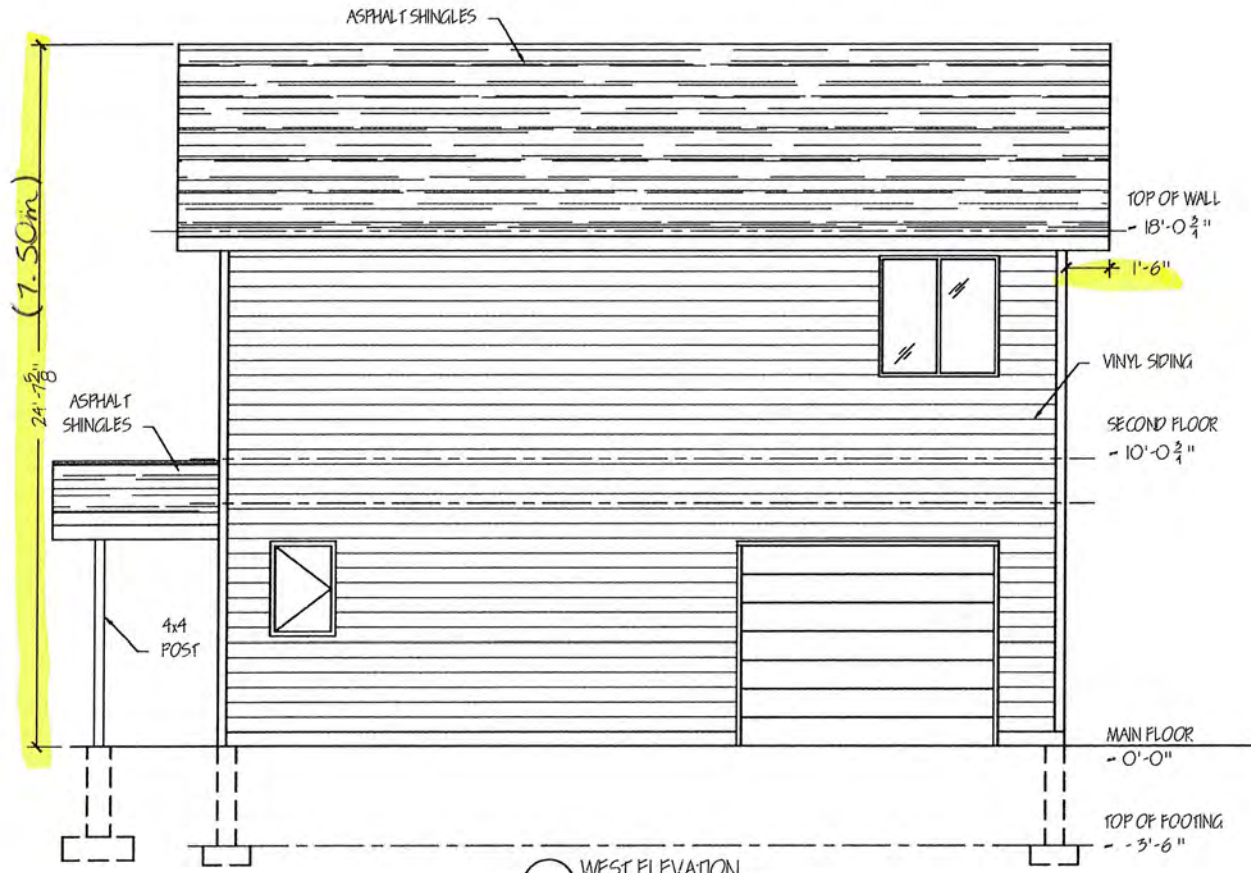
DEVELOPMENT SERVICES
CITY OF LETHBRIDGE



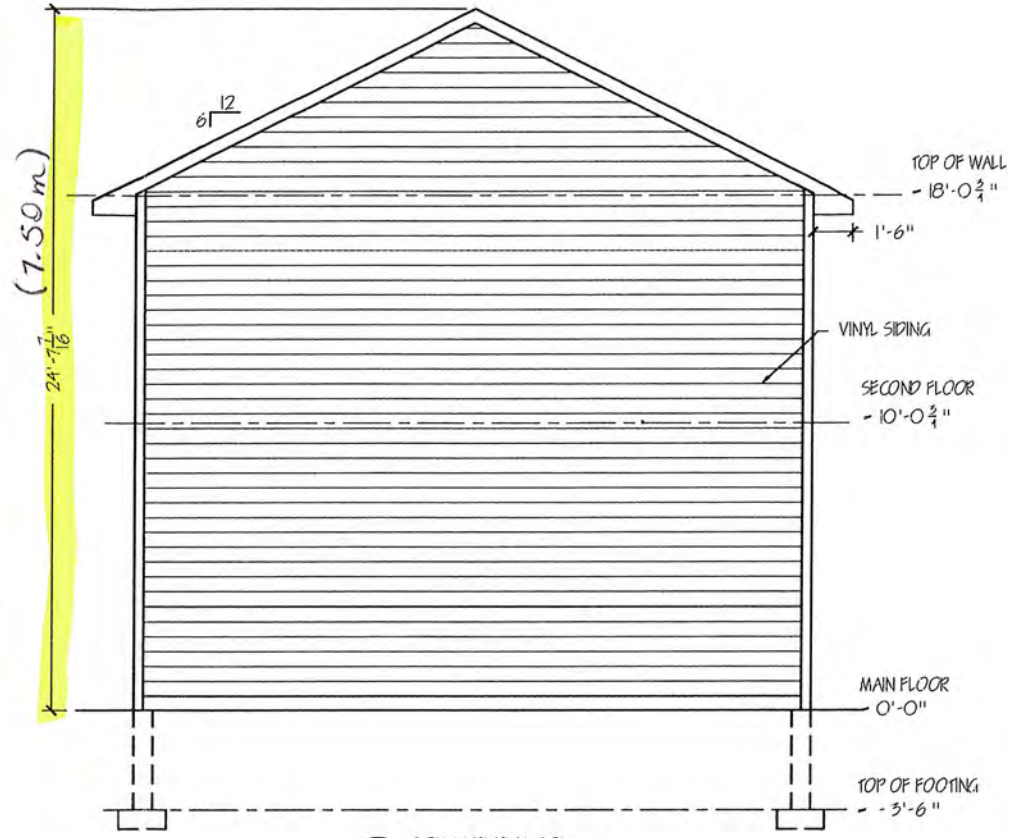
	REVISIONS			PHD18-02	APR 26, 2018	
	#	COMMENTS	DATE	BY	SCALE	
	1	FOR APPROVAL	18-04-26	DPB	1:150	
<p>PANTHER HOMES & DRAFTING 732 Florence Ho Leong Crescent North Lethbridge, Alberta T1H-5R5 Phone: 403-795-4737 E-mail: pantherdrafting@gmail.com</p>					DPB	
						CEDAR BROOK HOMES
						SITE PLAN

APR 26 2018

DEVELOPMENT SERVICES
CITY OF LETHBRIDGE



WEST ELEVATION
SCALE 3/16" = 1'-0"



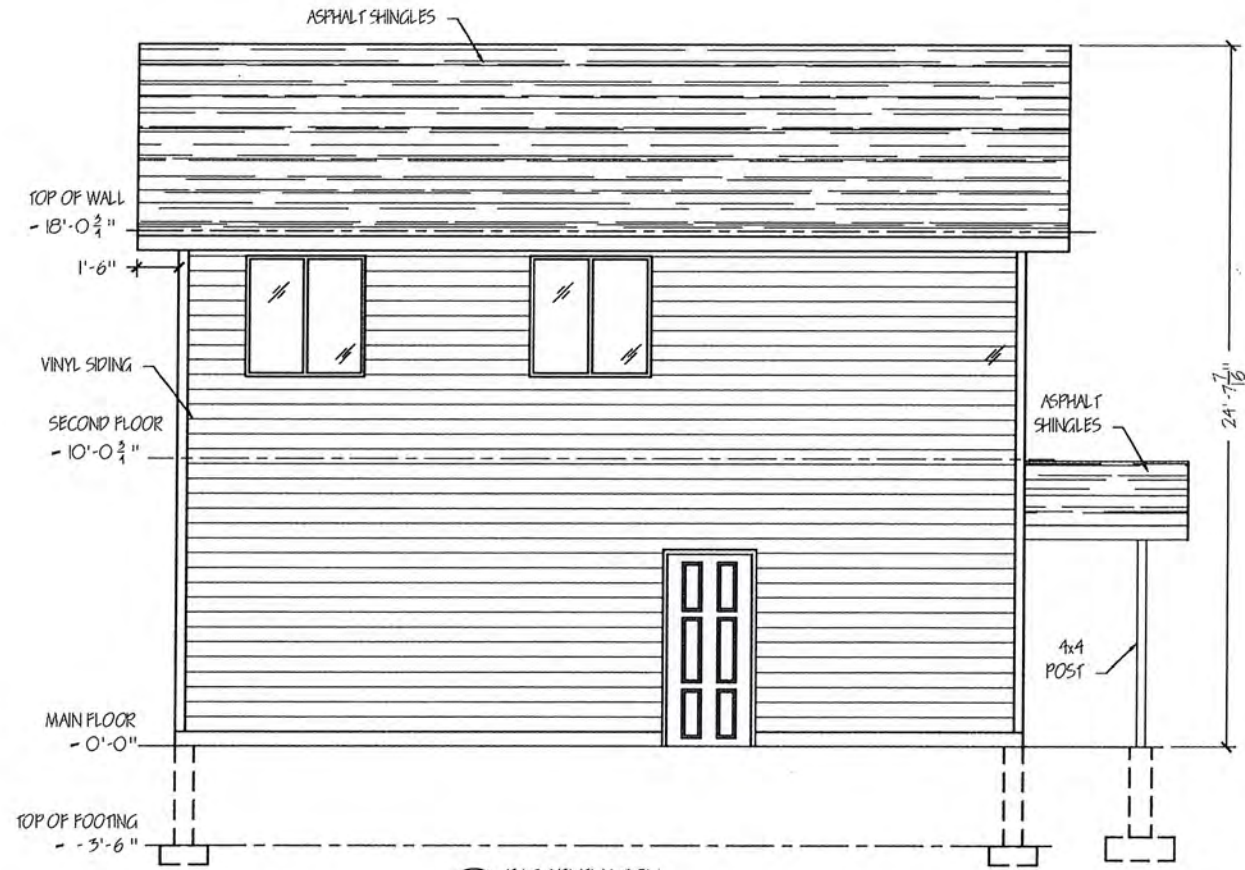
SOUTH ELEVATION
SCALE 3/16" = 1'-0"

	REVISIONS			PROJECT #	DATE	
	#	COMMENTS	DATE	BY	PHD18-02	2018-04-26
	1	FOR APPROVAL	18-04-26	DPB	1/4" = 1'-0"	A4.1
					DPB	
PANTHER HOMES & DRAFTING 732 Florence Ho Leong Crescent North Lethbridge, Alberta T1H-5R5 Phone: 403-795-4737 E-mail: pantherdrafting@gmail.com					CEDAR BROOK HOMES	
					ELEVATIONS	

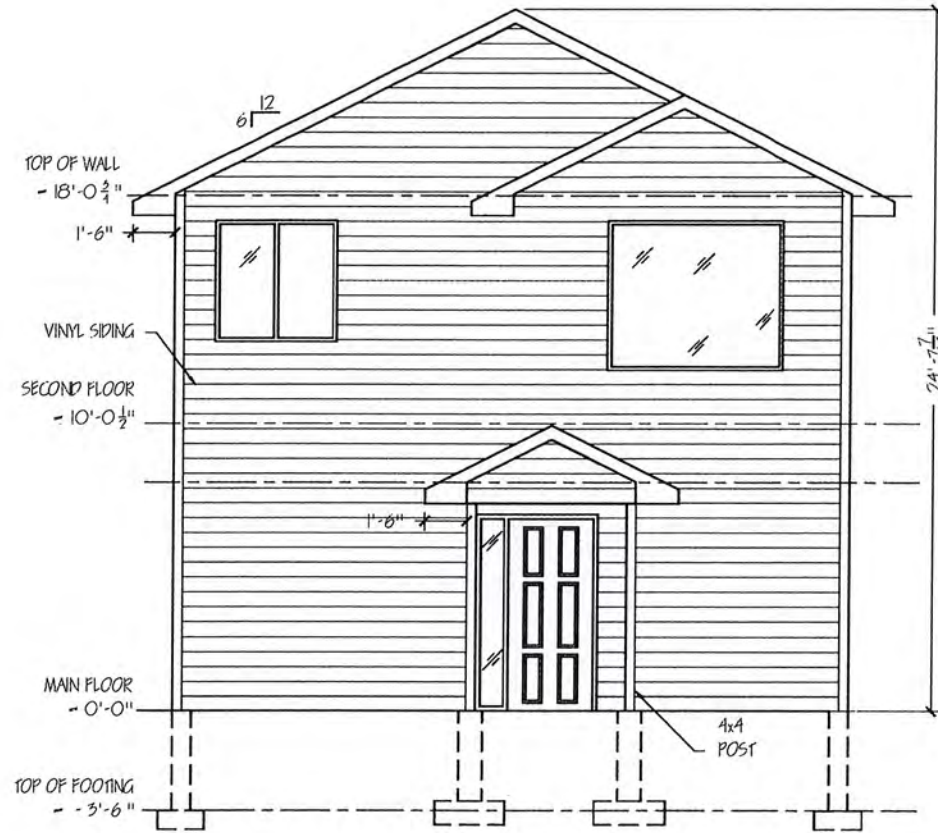
RECEIVED

APR 26 2018



DEVELOPMENT SERVICES
CITY OF LETHBRIDGE



⊙ EAST ELEVATION
SCALE 3/16" = 1'-0"



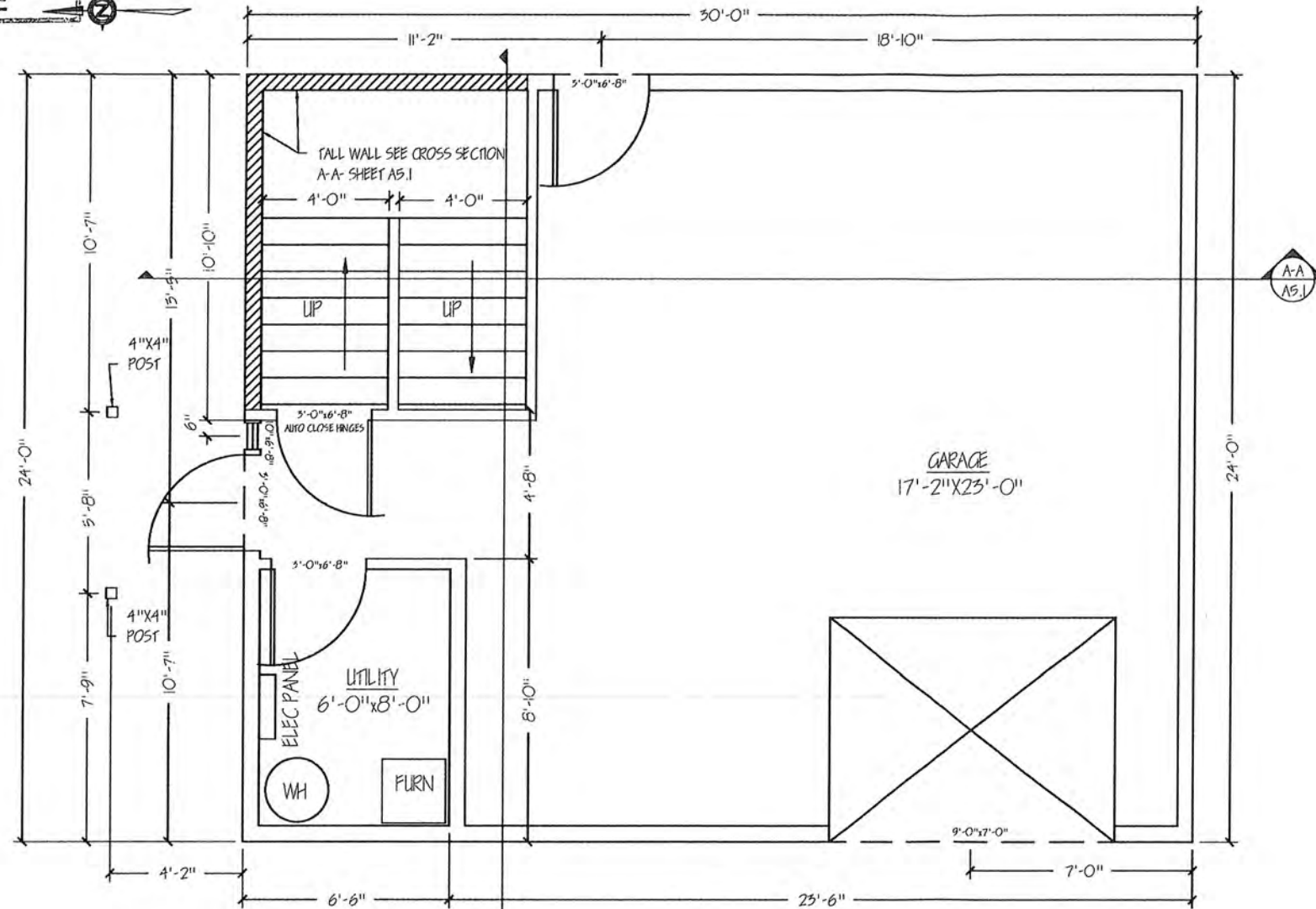
⊙ NORTH ELEVATION
SCALE 3/16" = 1'-0"

	REVISIONS			PROJECT #	DATE	
	#	COMMENTS	DATE	BY	PHD18-02	2018-04-26
	1	FOR APPROVAL	18-04-26	DPB		
 <p>PANTHER HOMES & DRAFTING 732 Florence Ho Leong Crescent North Lethbridge, Alberta T1H-5R5 Phone: 403-795-4737 E-mail: pantherdrafting@gmail.com</p>						
					ISSUED SCALE	1/4" = 1'-0"
					ISSUED BY	DPB
					CLIENT NAME	CEDAR BROOK HOMES
					ISSUED NAME	ELEVATIONS

RECEIVED

APR 26 2018

DEVELOPMENT SERVICES
CITY OF LETHBRIDGE



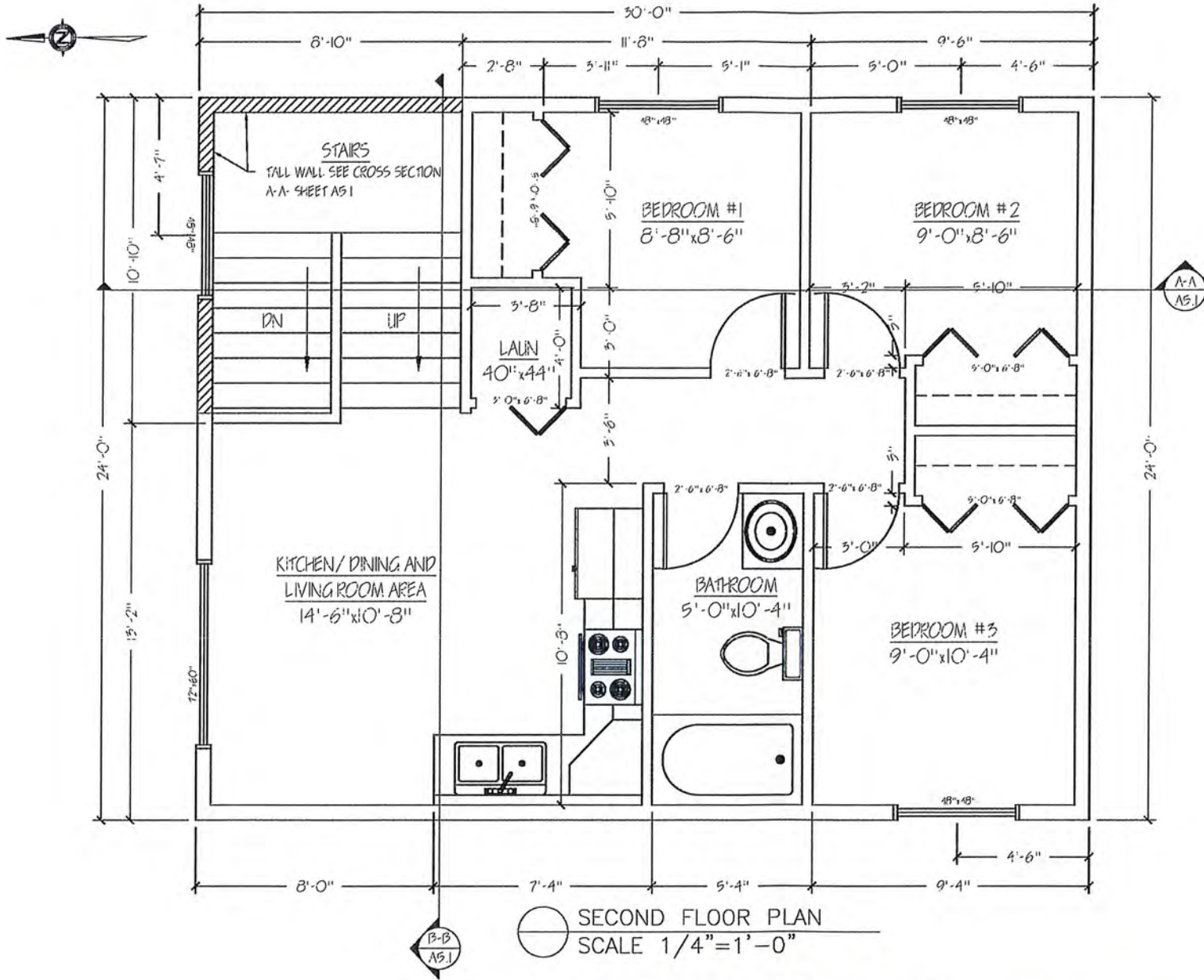
MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"

	REVISIONS			PROJECT #	DATE
	#	COMMENTS	DATE	BY	
	1	FOR APPROVAL	18-04-26	DPB	
<p>PANTHER HOMES & DRAFTING 732 Florence Ho Leong Crescent North Lethbridge, Alberta T1H-5R5 Phone: 403-795-4737 E-mail: pantherdrafting@gmail.com</p>				PROJECT #	DATE
				PHD18-02	2018-04-26
				DRAWN SCALE	1/4" = 1'-0"
				CHECKED BY	DPB
				PROJECT NAME	CEDAR BROOK HOMES
				DRAWING NAME	MAIN FLOOR PLAN
					A1.1

RECEIVED

APR 26 2018

DEVELOPMENT SERVICES
CITY OF LETHBRIDGE



cedarbrook homes

PANTHER HOMES & DRAFTING
732 Florence Ho Leong
Crescent North
Lethbridge, Alberta
T1H-5R5
Phone: 403-795-4737
E-mail: pantherdrafting@gmail.com

REVISIONS				PROJECT #	DATE
#	COMMENTS	DATE	BY	PHD18-02	2018-04-26
1	FOR APPROVAL	18-04-26	DPB	1/4" = 1'-0"	A1.2
				DPB	
				CLIENT NAME	CEDAR BROOK HOMES
				DRAWING NAME	SECOND FLOOR PLAN

